

Bringing Big City Economic Development Capacity to Smaller & Mid-Sized Communities

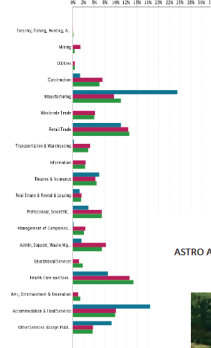
Why CityWAY™?

CityWAY™ offers an affordable, fully customized, turn-key economic development department that is ready to be integrated into any small or mid-sized community.

CityWAY™ delivers five (5) core service groups:

- Development and prioritization of economic development strategies and tactics
- Data & systems
- Economic conditions and resources
- Implementation via internal and external marketing
- Tracking & Reporting

2010 Employees by Industry Type From North American Industry Classification System (NAICS) for Jacksonville, TX



Employment by NAICS Code

2010 Employees by Industry Type From North American Industry Classification System (NAICS) for Jacksonville, TX	Jacksoville, TX	Texas
Employees, Total (By Place of Work)	1,165	8,796,027
00 Agriculture, Forestry, Fishing, and Hunting	0	0.00%
10 Manufacturing	284	24.38%
20 Construction	20	1.72%
30 Retail Trade	151	11.24%
40 Wholesale Trade	0	0.00%
50 Transportation and Warehousing	3	0.26%
60 Information	0	0.00%
70 Finance and Insurance	72	6.18%
80 Real Estate and Rental and Leasing	19	1.63%
90 Professional, Scientific, and Technical Services	43	3.69%

ASTRO AIR / LUVATA BUILDING



Building Location: 1655 N. Jackson (Highway 69 North)
Property Description: Industrial/manufacturing site with over 187,000 sq. ft. of light manufacturing, warehouse & office with 3 buildings. Property has 109+/- acres. Owner will consider selling buildings individually.
Operating Square Footage: Building #1 - 75,000 sq. ft.
 Building #2 - 31,000 sq. ft.
 Building #3 - 80,000 sq. ft.
Price: Total 187,000
 \$3,300,000.00
Property Features: 109+/- acres with large pond on northwest side. Access to Highway 69 (4 lane divided highway). Adequate electric, city sewer & water.
Contact: Vickie Lough (click for email)
 Homes & Properties
 Phone: (803) 589-8888
 For printable flyer (pdf), click here
 For virtual tour & more info, visit www.homesproperties.com

AFT BUILDING



Building Location: 1498 N. Bolton
Property Description: Industrial/manufacturing site located on 7.5 acres. Heavy power & 30 ft. ceilings. 4" water line. Two dock doors, 3 grade doors. Fully sprinklered and electronically monitored.
Operating Square Footage: 75,000 sq. ft. with 2,000 sq. ft. office space
Price: Call owner - available for sale or lease. Will consider dividing.
Contact: Johnny Rose
 Phone: (214) 455-5504

We Get Results: For many communities with a population of 35,000 or less, CityWAY™ offers an affordable and turn-key solution. CityWAY™ delivers a fully operational, comprehensive, integrated, customized and locally driven 5-part economic development program for less than the cost of hiring an administrative assistant.

Full Range of Products and Services:



Comprehensive, Turn-Key and Affordable

The economic development dilemmas faced in smaller and medium-sized communities are typically threefold:

1. Need for a locally driven economic development program is recognized
2. Membership in a regional economic development organization is important, but not a substitute for local capability and expertise
3. Grappling with financial realities that limit the ability to actually acquire the resources and expertise necessary to implement an economic development program

The Geneva Analytics' CityWAY™ economic development program tackles these dilemmas in five parts:

Realistic Strategies & Tactics

If there is not a current economic development strategy, CityWAY™ will develop one as part of the package. Any existing strategy to be implemented should not be more than five years old.

It is important that set goals are attainable, within a reasonable timeline, and with the resources available to achieve them.

Sound, Current Data & Analytics

CityWAY™ will review, analyze and update demographic and psychographic population and workforce data.

It is important to set goals that match the faces of who is residing and shopping in your community, which is not always reflected. These are the faces who will be carrying the implemented vision to reality.

Inventories of Current Buildings, Sites, Vacant Structures and Facilities*

CityWAY™ will inventory, assess and prepare data sheets on available properties. This is an extremely important component for decision makers. In order to recruit what you want, you need to have a clear-cut, unabated picture of what you have. The assessment for the goal needs to be aligned with your capacity.

Tracking, Follow-Up and Reporting

CityWAY™ works directly with city management and provides ongoing progress reports to both management and Council.

Optional Highly-Targeted Marketing

CityWAY™ will evaluate the market, recommend and implement a marketing program directed specifically toward industries that match your assessed community.

*Building assessments are not structural or engineering



About Geneva Analytics, LTD:

Geneva Analytics, LTD. was founded in 2009 by Fred D. Burkhardt. The concept emerged while working in Wisconsin, where it was discovered that many smaller communities, understanding the importance of economic development, had virtually only two options:

1. Fund their own department with the limited resources available, which left little to implement and maintain programming after staffing and overhead costs.
2. Join a regional partnership that is comprised of a collaborative vision, often overlooking the needs of the smaller and mid-sized communities, and allocating preferences to the bigger, more influential partners within the consortium.

Fred D. Burkhardt, MBA, IOM, has been providing business management and economic development services and counseling for more than 35 years. The commitment to provide various services to aid communities with revenue enhancement, job generation and tax base diversification has been, and continues to be, Fred's primary objective.